

Erosion Control and Grading Notes

1. Expose as small an area of soil as possible on the site for no more than 15 days. Keep dust within tolerable limits by sprinkling or other acceptable means.
2. All cut/fill areas to have a minimum of 6" of topsoil cover. Areas dressed with topsoil shall receive 12 lbs. per 1000 sq. ft. of 10-10-10 fertilizer (unless otherwise specified in written specifications), 5 lbs. or more of Kentucky 31 fescue seed per 1000 sq. ft., and a straw mulch cover of 70%-80% coverage (approximately 125 lbs. per 1000 sq. ft.), unless otherwise noted within written specifications.
3. Erosion control barrier is called out on plans and is to comply with the Metropolitan stormwater management manual, volume four, section Tcp-14.
4. Disturbed areas are to be graded to drain as indicated in the plan to sediment barriers during and upon the completion of construction.
5. The contractor shall be responsible for the verification and the location of any existing utilities. It shall be the responsibility of the contractor to avoid damage to all existing utilities during construction. If damage does occur to any such installation, full repair will be accomplished as per the current specification governing such work.
6. Any access routes to the site shall be based with crushed stone, ASTM #1 stone, 100' long and at least 8" thick.
7. The placing and spreading of any fill material is to be started at the lowest point and brought up in horizontal layers of 8" thickness (or as directed by the soils investigative report). Said fill material is to be free of sod, roots, frozen soils, or any other decomposable material. Said fill is to be compacted to a minimum of 95% standard proctor, or as otherwise specified by the soils report or written specifications.
8. The contractor shall notify the Metro Davidson County department of Public Works construction compliance division, three days prior to beginning the work.
9. The contractor shall locate and stake the layout of the site in the field for inspection by the engineer. The contractor shall check the grades and final dimensions on the ground, and report any discrepancies to the engineer immediately for a decision.
10. Surplus excavation of topsoil shall be placed on the site as approved by the owner for the purpose of future landscape use.
11. The contractor shall furnish and install all necessary temporary works for the protection of the public and employees, including warning signs and lights.
12. The contractor shall be responsible for any damage done to the premises or adjacent premises or injuries to the public during the construction caused by himself, his sub-contractors, or the carelessness of any of his employees.
13. All work is to be completed with compliance to the rules and regulations set forth by Metro Water Services. The contractor shall give all necessary notice, obtain all permits, and pay fees required for the completion of his portion of the work. He shall also comply with all city, county and state laws and ordinance or regulations relating to portions of work which he is to perform.
14. All erosion control measures shall remain in place until site is stabilized & construction is complete.
15. Contractor to provide an area for concrete wash down and equipment fueling in accordance with metro gp-10 and gp-13, respectively. Contractor to coordinate exact location with NPDES department during the pre-construction meeting. Grading permittee to include BMP's designed to control site wastes such as discarded building materials, chemicals, litter and sanitary wastes that may cause adverse impacts to water quality. The location of and/or notes referring to said bmp's shall be shown on the EPSC plan.
16. The buffer along waterways will be an area where the surface is left in a natural state, and is not disturbed by construction activity. this is in accordance with the Stormwater Management Manual Volume 1 - Regulations.

Water and Sewer Notes:

1. All water and sewer construction shall be in accordance with specifications and standard details of the Metro Water Services.
2. The contractor is responsible for reimbursing the Metro Water Services the cost of inspection.
3. The contractor is to provide and maintain the construction identification sign for private development approved.
4. After completion of the sanitary sewer, the developer is responsible for the televising of the lines prior to final acceptance. The videotaping must be coordinated with the Metro Water Services inspection Section. All costs will be borne by the developer.
5. All connections to existing manholes shall be by coring and resilient connector method.
6. Reduced Pressure Backflow Prevention Devices (RPBP) or dual check valve will be required on all test and fill lines (jumper) needed for water main construction and must be approved by the Metro Water Services.
7. All water meters shall be a minimum of 24" not to exceed a maximum of 28" below finished grade.
8. Upon completion of construction of water and/or sewer, the engineer shall provide the department with a complete set of as-built plans on moist erasable mylars in reverse and in digital (.dwg) format. Sewer plans shall be sealed by a licensed professional engineer or a registered land surveyor and shall include actual field angles between lines, all actual service lines and tee locations, the distance of the end of the service line to property corners and lines and/or station and offset from sewer centerline to end of service line, the depth to the top of the end of the service line, and shall reflect all alignment and grade changes. Water line plans shall be sealed by a licensed professional engineer or a registered land surveyor and shall include offset distance from the roadway centerline, or property line right of way, line depth, locations of hydrants, valves, reducers, tees and pressure reducing devices where applicable. All drawings must be completed and submitted prior to acceptance of the sewers or water mains into the public system and any connections being made.
9. Pressure regulating devices will be required on the customer side of the meter when pressures exceed 100 psi.
10. Pressure regulating devices will be required on the street side of the meter when pressures exceed 150 psi.
11. All water mains must be located within the paved area including all blow-off assemblies.

Public Works Notes

1. All work within the public right of way requires an excavation permit from the department of public works.
2. Proof-rolling of all street subgrades is required in the presence of the public works inspector. Inspection of the binder course is required prior to final paving in the presence of the public works inspector. These requests are to be made 24 hours in advance.
3. Stop signs are to be 30 inch by 30 inch.
4. Street signs to have six inch white letters on a nine inch green aluminum blade, high intensity reflective.
5. All pavement marking are to be thermoplastic.

Standard SP Notes

- 1) The purpose of this Preliminary SP is to permit 24 Residential Units
- 2) Any excavation, fill or disturbance of the existing ground elevation must be done in accordance with storm water management ordinance no. 78-840 & approved by the metropolitan department of water services.
- 3)This property does not lie within a flood hazard area as identified by FEMA on Map 47037C0253H dated April 4, 2017.
- 4) All public sidewalks are to be constructed in conformance with metro public works sidewalk design standards.
- 5) Wheel chair accessible curb ramps, complying with applicable Metro Public Works Standards, shall be constructed at street crossings.
- 6) The required fire flow shall be determined by the Metropolitan Fire Marshal's Office, prior to the issuance of a building permit.
- 7) Size driveway culverts per the design criteria set forth by the Metro Stormwater Manual (minimum driveway culvert in metro right of way is 15" crrnp).
- 8) Metro Water Services shall be provided sufficient & unencumbered ingress & egress at all times in order to maintain, repair, replace & inspect any stormwater facilities within the property.
- 9) Individual water and/or sanitary sewer service lines are required for each unit.
- 10) Solid waste pickup to be provided by dumpsters shown on this plan.
- 11) Minor modifications to the Preliminary SP Plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual site conditions. all modifications shall be consistent with the principles and further the objectives of the approved plan. modifications shall not be permitted, except through an ordinance approved by metro council that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting Ordinance, or add vehicular access points not currently present or approved.
- 12) For any development standards, regulations and requirements not specfically shown on the sp plan and/or included as a condition of commission or council approval, the property shall be subject to the standards, regulations and requirements of the RM40-A Zoning District as of the date of the applicable request or application.
- 13) The Final Site Plan/Building Permit Site Plan shall depict the required public sidewalks, any required grass strip or frontage zone and the location of all existing and proposed vertical obstructions within the required sidewalk and grass strip or frontage zone. Prior to the issuance of use and occupancy permits, existing vertical obstructions shall be relocated outside of the required sidewalk. Vertical obstructions are only permitted within the required grass strip or frontage zone.
- 14) Drawing is for illustration purposes to indicate the basic premis of the developmntas it pertains to stormwater approval/comments only. The final lot count and details of the plan shall be governed by the appropriate stormwater regulations at the time of final application.

ORDINANCE NO. BL2016-289

An ordinance to amend Title 17 of the Metropolitan Code of Laws, the Zoning Ordinance of The Metropolitan Government of Nashville and Davidson County, by amending the Porter Road Specific Plan District for property located at 1509 Porter Road and Porter Road (unnumbered) to add parcel 237 and permit a maximum of 50 residential units and up to 7,400 square feet of commercial use where 28 residential units and up to 6,000 square feet of commercial use were previously approved, approximately 72 feet south of Cahal Avenue, zoned SP and R6 (2.55 acres), all of which is described herein (Proposal No. 2013SP-030-003).

NOW, THEREFORE, BE IT ENACTED BY THE COUNCIL OF THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY:

Section 1. That Title 17 of the Code of Laws of The Metropolitan Government of Nashville and Davidson County, is hereby amended by changing the Official Zoning Map for Metropolitan Nashville and Davidson County, which is made a part of Title 17 by reference, as follows:

By amending the Porter Road Specific Plan District for property located at 1509 Porter Road and Porter Road (unnumbered) to add parcel 237 and permit a maximum of 50 residential units and up to 7,400 square feet of commercial use where 28 residential units and up to 6,000 square feet of commercial use were previously approved, approximately 72 feet south of Cahal Avenue, zoned SP and R6 (2.55 acres), being Property Parcel Nos. 237, 356 as designated on Map 072-15 and Property Parcel Nos. 001-022, 900 as designated on Map 072-15 of the Official Property Identification Maps of The Metropolitan Government of Nashville and Davidson County, all of which is described by lines, words and figures on the plan that was duly considered by the Metropolitan Planning Commission, and which is on file with the Metropolitan Planning Department and Metropolitan Clerk's Department and made a part of this ordinance as though copied herein.

Section 2. Be it further enacted, that the Metropolitan Clerk is hereby authorized and directed, upon the enactment and approval of this ordinance, to cause the change to be made on Map 072 of said Official Zoning Map for Metropolitan Nashville and Davidson County, as set out in Section 1 of this ordinance, and to make notation thereon of reference to the date of passage and approval of this amendatory ordinance.

Section 3. Be it further enacted, that the uses of this SP shall be limited to a maximum of 50 residential units. Non-residential uses shall include a minimum of 2,000 square feet and up to a maximum of 7,400 square feet.

Section 4. Be it further enacted, that the following conditions shall be completed, bonded or satisfied as specifically required:

1. Restaurant uses are limited to a maximum of 3,000 square feet, unless additional parking is provided in compliance with Metro Zoning Code requirements. Additional parking for restaurant uses shall be reviewed with final site plan and/or use and occupancy permits. Additional parking may be permitted offsite, but must be approved by Metro Planning and/or Metro Public Works.
2. All parking requirements shall meet the UZO standards in section 17.20 of the Metro Zoning Code.
3. Elevations shall be required with the Final Site Plan application.
4. Additional floor area for restaurant uses shall be reviewed with final site plan and/or use and occupancy permits.
5. Add the following note to the plan: The final site plan/building permit site plan shall depict a minimum 5 foot clear path of travel for pedestrian ways, including public sidewalks, and the location of all existing and proposed obstructions. Prior to the issuance of use and occupancy permits, existing obstructions within the path of travel shall be relocated to provide a minimum of 5 feet of clear access.
6. Permitted signs shall be limited to wall mounted signs, projecting signs, awning signs, window signs and hanging signs. Freestanding ground signs, monument signs, portable signs, roof mounted signs, LED signs and billboards shall not be permitted. A signage program shall be included with the final site plan and must be approved by Planning.
7. The requirements of the Metro Fire Marshal's Office for emergency vehicle access and adequate water supply for fire protection must be met prior to the issuance of any building permits.

Section 5. Be it further enacted, a corrected copy of the preliminary SP plan incorporating the conditions of approval by Metro Council shall be provided to the Planning Department prior to or with final site plan application.

Section 6. Be it further enacted, minor modifications to the preliminary SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved.

Section 7. Be it further enacted, if a development standard, not including permitted uses, is absent from the SP plan and/or Council approval, the property shall be subject to the standards, regulations and requirements of the MUL-A zoning district as of the date of the application request or application. Uses are limited as described in the Council ordinance.

Section 8. Be it further enacted, that this ordinance take effect immediately after its passage and such change be published in a newspaper of general circulation, the welfare of The Metropolitan Government of Nashville and Davidson County requiring it.

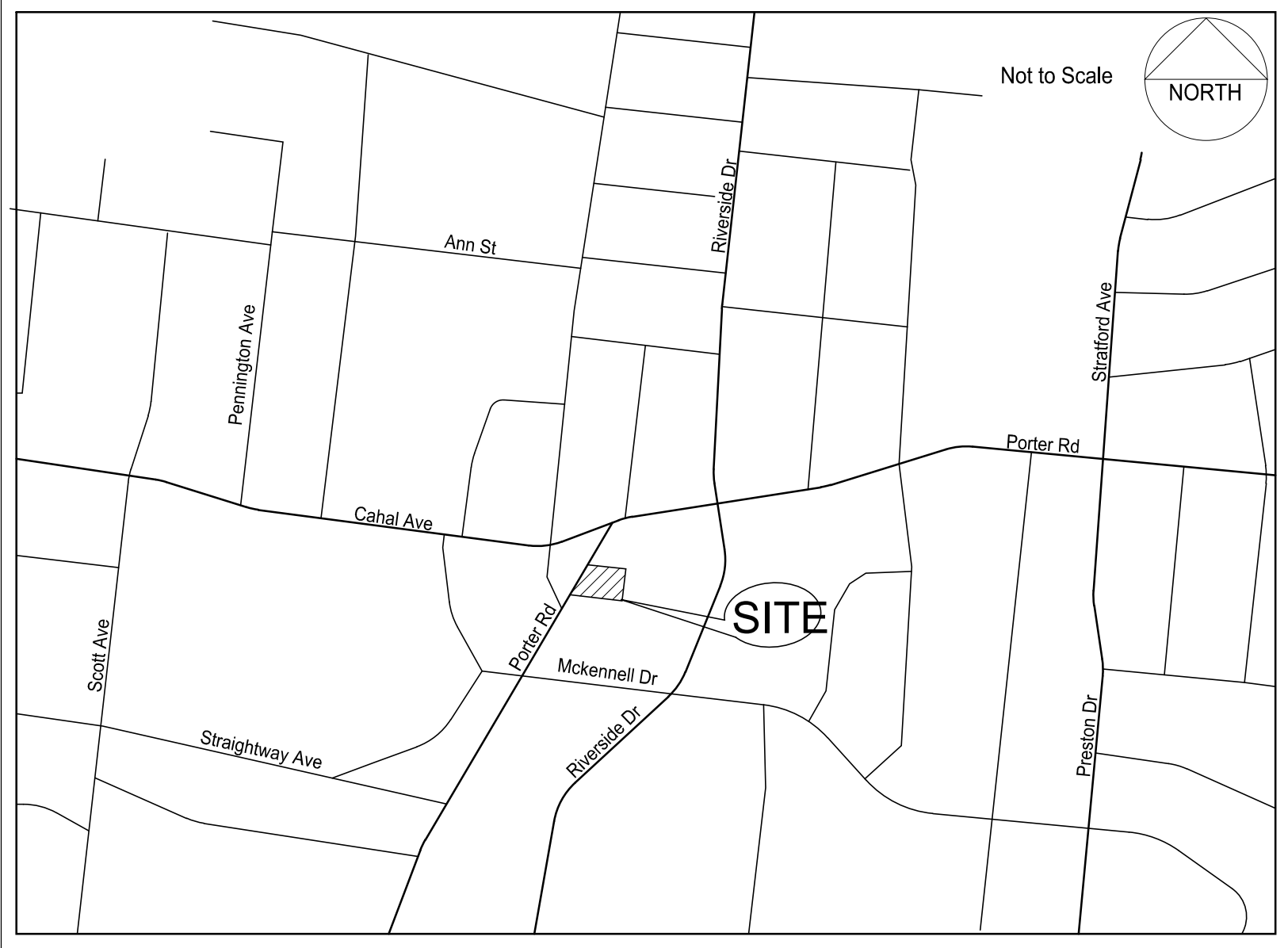
Sponsored by: Anthony Davis

Preliminary Specific Plan
Porter Road, Phase 2

Planning Commission SP# 2013SP-030-005

Council Bill # BL2016-289

BEING PARCELS 237 & 356 ON TAX MAP 72-15
NASHVILLE , DAVIDSON COUNTY, TENNESSEE



VICINITY MAP
N.T.S.

Property Information

Porter Road (Map 72-15, Parcel 356)
Nashville, Tennessee 37206
24,393.6 Square Feet or 0.56 Total Acres
Council District 7 (Anthony Davis)

1509 Porter Road (Map 72-15, Parcel 237)
Nashville, Tennessee 37206
6,098.4 Square Feet or 0.14 Total Acres
Council District 7 (Anthony Davis)

Owners of Record

Porter Road (Map 72-15, Parcel 356)
Porter Village Partners
5250 Virginia Way STE 100
Brentwood, Tennessee 37027

1509 Porter Road (Map 72-15, Parcel 237)
1509 Porter, LLC
4803 Gallatin RD
Nashville, Tennessee 37216

Civil Engineer

Dale & Associates
516 Heather Place
Nashville, Tennessee 37204
Contact: Michael Garrigan, PE
Phone: 615.297.5166
Email: michael@daleandassociates.net

Surveyor

Dale & Associates
516 Heather Place
Nashville, Tennessee 37204
Contact: Steve Matthews, PE
Phone: 615.297.5166
Email: steve@daleandassociates.net

Floodnote

This property is not located within a Flood Hazard Area as depicted on the current Flood Insurance Rate Map (FIRM) Number 47037C0253H dated April 4, 2017.

ARCHITECTUAL NOTES

A. Building facades fronting a street shall provide a minimum of one principal entrance (doorway) and a minimum of 25% glazing for residential and 40% glazing for commercial.

B. Commercial floor height shall be a minimum of 14 feet.

C. Windows shall be vertically oriented at a ratio of 1.5:1 or greater, except for dormers or egress windows.

D. EIFS, vinyl siding and untreated wood shall be prohibited.

E. Porches shall provide a minimum of six feet of depth (To be applied to Phase 1, Townhome Section ONLY).

F. A Raised Foundation of 18" - 36" is required for all residential structures.

Sheet Schedule

- | | |
|---|-----------------------------------|
| 1 | C1.0 Notes and Project Standards |
| 2 | C2.0 Initial Erosion Control Plan |
| 3 | C3.0 Layout Plan |
| 4 | C4.0 Grading and Drainage Plan |
| 5 | C5.0 Civil Details |
| 6 | L1.0 Landscape Plan |

Planning Commission SP# 2013SP-030-005
Council Bill # BL2016-289
SWGR# T2016059288
Codes# T2016

Notes and Project Standards

USE - CHAPTER 17.08 & 17.16

SPECIFIC PLAN DEVELOPMENT SUMMARY

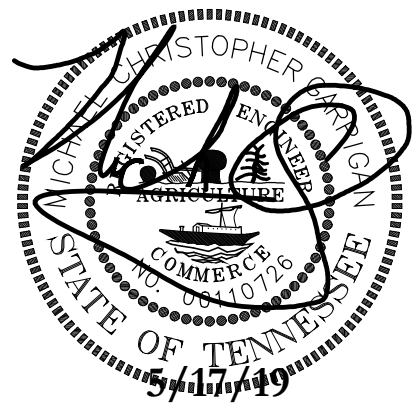
PROPOSED USE	Multifamily (24 Units)
PROPERTY ZONING	SP
OVERLAY(s)	UZO
SURROUNDING ZONING	R6, RM20, CN
USE CHARTS:	PERMITTED
SITE CRITERIA	
SUBDIVISION PLAT	Not Applicable
MINIMUM LOT SIZE	Not Applicable (as shown herein)
FAR (PHASE 1)	0.60 MAX / 0.39 Proposed (Phase 1 Only)
FAR (PHASE 2)	0.80 MAX / 0.79 Proposed (Phase 2 Only)
ISR - Adjustments / Slopes over 15% (PHASE 1)	0.70 MAX / 0.51 Proposed Herein (Phase 1 Only)
ISR - Adjustments / Slopes over 15% (PHASE 2)	0.70 MAX / 0.54 Proposed (Phase 2 Only)
STREET SETBACKS:	5' From Right Of Way *
SIDE YARD	5' From Property Line
REAR YARD	20' From Property Line
HEIGHT STANDARDS	3 Stories In 45 Feet Maximum (Measured from Ave Grade)

PARKING AND ACCESS - CHAPTER 17.20

RAMP LOCATION AND NUMBER	1 Access On Porter Road Proposed with Phase 1
DISTANCE TO NEAREST EXISTING RAMP (MINIMUM 30')	140' South
DISTANCE TO INTERSECTION	155' South
50' MINOR STREET 100' COLLECTOR	185' ARTERIAL STREET 250' CONTROLLED ACCESS RAMP
REQUIRED PARKING BASED ON USES (PHASE 1) PROPOSED PARKING (PHASE 1)	33 Stalls (24 Units @ 1.5 Stalls Per Unit) 48 Proposed (5 Onstreet Porter Rd Not Included)
REQUIRED PARKING BASED ON USES (PHASE 2)	Residential (7 Units @ 1.5 Stalls Per Unit) Residential (17 Units @ 1 Stalls Per Unit)
	10.5 Stalls Req'd 17 Stalls Req'd
TOTAL UNADJUSTED PARKING REQUIRED	27.5 Stalls
PROPOSED PARKING (PHASE 2)	29 Proposed
SPACE SIZES, AISLE WIDTHS, ANGLE DATA (PHASE 1)	30 Garage Stalls, 7 8.5'x18' Offstreet, 11 Parallel Stalls
SPACE SIZES, AISLE WIDTHS, ANGLE DATA (PHASE 2)	26 - 90' Offstreet, 3 Onstreet (Porter Rd, 50% Counted)
REQUIRED LOADING BASED ON USES	None Required
SURFACING OVER 5 SPACES 1,750 SQ. FT.	Provided
QUEUING LANES	N/A
OVER 10 SPACES 20' QUEUING AT EXIT	Provided
NUMBER OF COMPACT SPACES / %	None
NUMBER OF ACCESSIBLE SPACES	None
SIDEWALKS REQUIRED	Public Sidewalks Proposed along Porter Rd

LANDSCAPING STANDARDS - CHAPTER 17.24

REQUIRED BUFFERYARDS	A-3 East and North
BUFFERYARD ADJUSTMENT	Modified Per Prelim. SP
PERIMETER LANDSCAPING	Provided
STANDARD FOR 4 OR MORE LANES	N/A
SIDE LINES ADJACENT TO PARKING AREAS 5' MINIMUM WITH TREES-2.5' WITH TREE ISLANDS	Provided
INTERIOR LANDSCAPING MINIMUM 8% AREA	Provided
OPAQUE FENCE ADJACENT TO RESIDENTIAL PARKING AREA	Provided
SCREENING AROUND DUMPSTERS (NO CHAIN LINK FENCE PERMITTED)	
TREE DENSITY	See Landscape Compliance Plan



Dale & Associates
Consulting Civil Engineering
Land Planning & Zoning
516 Heather Place
Nashville, Tennessee 37204
(615) 297-5166

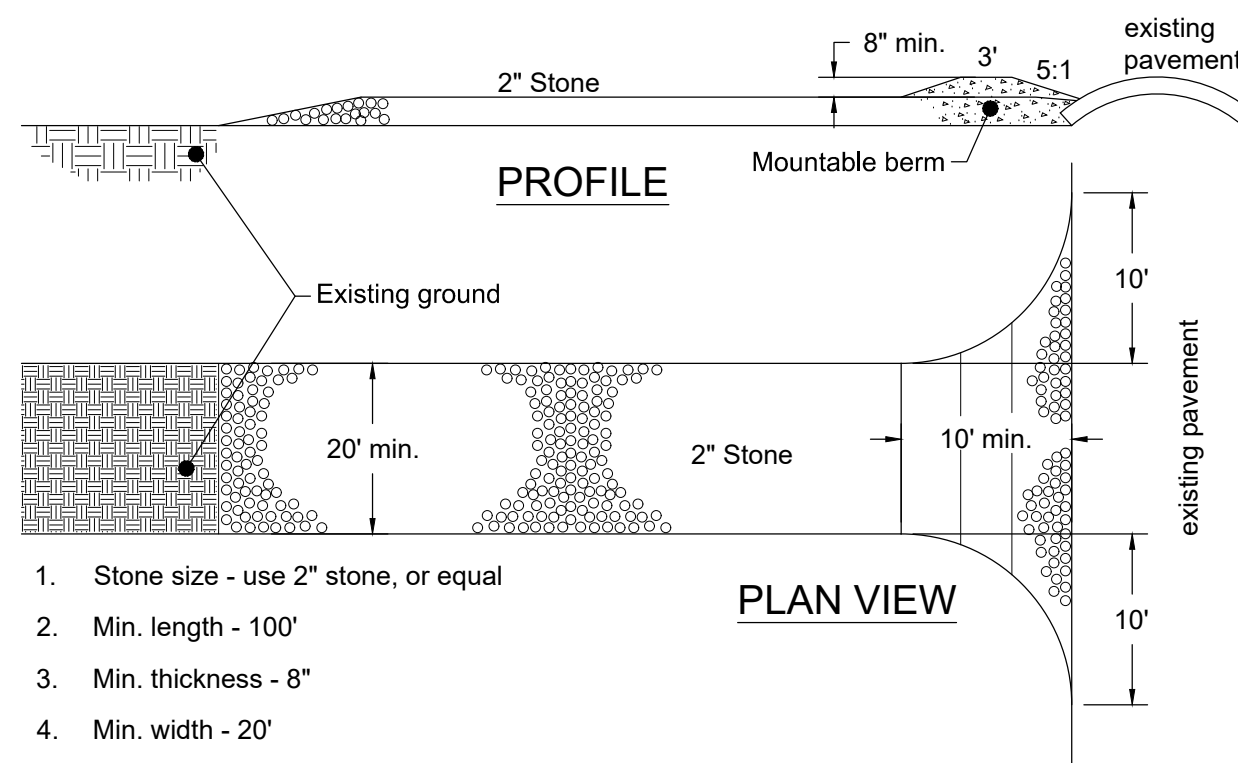
D&A Project #13041
Porter Road, Phase 2 SP

C1.0

Sheet 1 of 6

STABILIZATION OF DISTURBED SOILS

- Soil Stabilization will be accomplished by the use of seeding in the appropriate areas, as specified. Temporary seeding will be required in those areas that consist of disturbed soils that have remained dormant for periods of more than 15 days.
- As a general rule, permanent seeding will be performed within 14 days after the final grade on an area has been established. If disturbed areas on-site are to remain dormant for periods greater than 15 days in duration, the contractor will apply permanent soil stabilization. An allowance in the time schedule will be made for snow cover during periods of construction downtime. Seeding will be performed by hydro-seeding, by hand, or by a mechanical broadcasting method.
- The areas to be seeded will be uniform and will conform to the finished grade and cross Section shown in the plans for this project or as otherwise designated. Owner's representative will perform minor shaping of uneven and rough areas outside the graded section as directed in order to provide for more effective erosion control and for ease of subsequent earth moving operations.
- The seed bed (including cut slopes) will be loosened to a minimum depth of 3 inches before agricultural lime, fertilizer or seed is applied. The areas to be seeded will be cleared of stones larger than 2.5 inches in dimension, roots, and other debris.



- Stone size - use 2" stone, or equal
- Min. length - 100'
- Min. thickness - 8"
- Min. width - 20'
- Filter cloth will be placed over the entire area prior to placing of stone.
- Surface water all surface water flowing or diverted toward construction entrances shall be piped across the entrance.
- Maintenance - the entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand, and repair and/or clean out of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.

TEMPORARY CONSTRUCTION EXIT

REFER TO METRO DETAIL TCP-03
N.T.S.

Erosion Control and Grading Notes

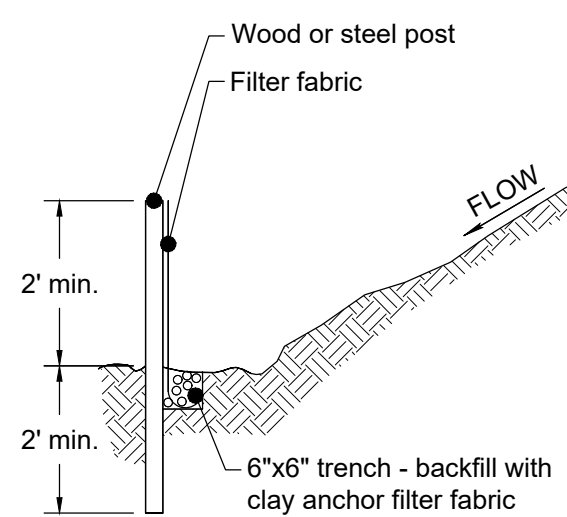
- Expose as small an area of soil as possible on the site for no more than 15 days. Keep dust within tolerable limits by sprinkling or other acceptable means.
- All cut/fill areas to have a minimum of 6" of topsoil cover. Areas dressed with topsoil shall receive 12 lbs. per 1000 sq. ft. of 10-10-10 fertilizer (unless otherwise specified in written specifications), 5 lbs. or more of Kentucky 31 fescue seed per 1000 sq. ft., and a straw mulch cover of 70%-80% coverage (approximately 125 lbs. per 1000 sq. ft.), unless otherwise noted within written specifications.
- Erosion control barrier is called out on plans and is to comply with the Metropolitan stormwater management manual, volume four, section Tcp-14.
- Disturbed areas are to be graded to drain as indicated in the plan to sediment barriers during and upon the completion of construction.
- The contractor shall be responsible for the verification and the location of any existing utilities. It shall be the responsibility of the contractor to avoid damage to all existing utilities during construction. If damage does occur to any such installation, full repair will be accomplished as per the current specification governing such work.
- Any access routes to the site shall be based with crushed stone, ASTM #1 stone, 100' long and at least 8" thick.
- The placing and spreading of any fill material is to be started at the lowest point and brought up in horizontal layers of 8" thickness (or as directed by the soils investigative report). Said fill material is to be free of sod, roots, frozen soils, or any other decomposable material. Said fill is to be compacted to a minimum of 95% standard proctor, or as otherwise specified by the soils report or written specifications.
- The contractor shall notify the Metro Davidson County department of Public Works construction compliance division, three days prior to beginning the work.
- The contractor shall locate and stake the layout of the site in the field for inspection by the engineer. The contractor shall check the grades and final dimensions on the ground, and report any discrepancies to the engineer immediately for a decision.
- Surplus excavation of topsoil shall be placed on the site as approved by the owner for the purpose of future landscape use.
- The contractor shall furnish and install all necessary temporary works for the protection of the public and employees, including warning signs and lights.
- The contractor shall be responsible for any damage done to the premises or adjacent premises or injuries to the public during the construction caused by himself, his sub-contractors, or the carelessness of any of his employees.
- All work is to be completed with compliance to the rules and regulations set forth by Metro Water Services. The contractor shall give all necessary notice, obtain all permits, and pay fees required for the completion of his portion of the work. He shall also comply with all city, county and state laws and ordinance or regulations relating to portions of work which he is to perform.
- All erosion control measures shall remain in place until site is stabilized & construction is complete.
- Contractor to provide an area for concrete wash down and equipment fueling in accordance with metro cp-10 and cp-13, respectively. Contractor to coordinate exact location with NPDES department during the pre-construction meeting. Grading permittee to include BMP's designed to control site wastes such as discarded building materials, chemicals, litter and sanitary wastes that may cause adverse impacts to water quality. The location of and/or notes referring to said bmp's shall be shown on the EPSC plan.
- The buffer along waterways will be an area where the surface is left in a natural state, and is not disturbed by construction activity. this is in accordance with the Stormwater Management Manual Volume 1 - Regulations.

Silt Fence Maintenance Notes:

- Inspect twice weekly min. 72 hrs apart and after each rainfall.
- Repair wherever fence is damaged.
- Remove sediment when it reaches 1/3 the height of the fence.
- Inspect silt fence when rain is forecast. Perform required maintenance before the storm event.
- Remove silt fence when no longer needed. Fill and compact past holes and anchor trench remove sediment accumulation, and grade alignment to blend with adjacent ground.

Silt Fence Notes:

- Filter fabric fence to be placed prior to start of rough grading.
- Steel posts shall be approved by owner prior to use.
- Wood posts shall be 2"x2" min., oak or similar hardwood.
- Posts shall be spaced at 6' intervals.
- Filter fabric shall be securely bound to posts with either staples or wire ties.
- Filter fabric shall be polypropylene fabric by Corps of Engineers guide spec. CW 02215. With equivalent opening size (eos) of no.100 sieve min., no.40 sieve max., as determined.
- J-Hooks to be used when silt fence is not installed along a contour.



SILT FENCE DETAIL
REFER TO METRO DETAIL TCP-13

EX.MANHOLE
T.C.:553.86'
INV.N:544.86'
INV.S:544.51'

CATCH BASIN SINGLE
T.C.:553.96'
INV.:551.26'

EX. MANHOLE
T.C.:554.80'

SITE BENCHMARK
FIRE HYDRANT TAG
BOLT NO. 6259 V2
ELEV. 556.84' (NAVD-88)

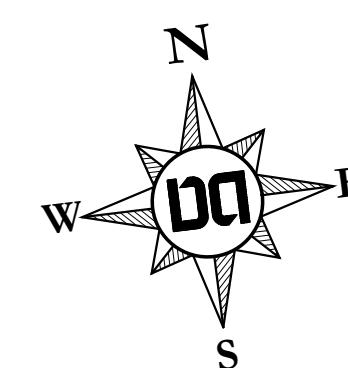
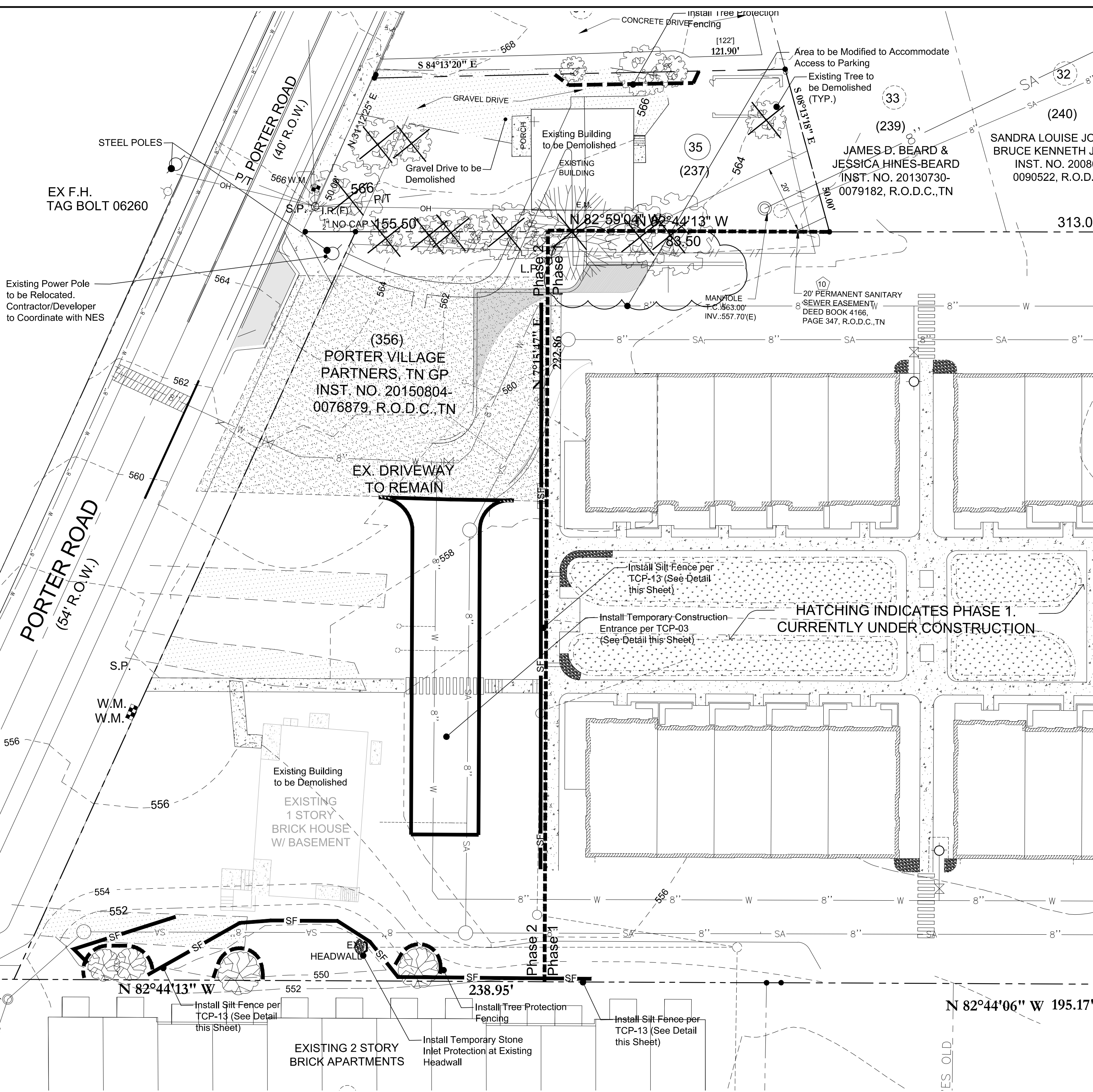
CATCH BASIN SINGLE
T.C.:554.17'
INV.:551.17'

F.H.

W.V.

MP

I, <u>WLO</u> , AS THE "CERTIFIED"	
EROSION CONTROL SPECIALIST FOR THIS SITE, HAVE REVIEWED	
AND APPROVED THE EROSION PREVENTION AND SEDIMENT	
CONTROL BMP'S OF THIS PLAN ON	
November 7, 2016	DATE
AS THE DESIGN ENGINEER RESPONSIBLE FOR THE	
DEVELOPMENT OF THESE PLANS, I DO HEREBY CERTIFY	
THAT THIS DEVELOPMENT WILL DISTURB LESS THAN (1) ONE	
ACRE.	
November 7, 2016	DATE
ENGINEER	



SCALE: 1" = 20'

TOTAL AREA = 0.696 ACRES
= 30,335.078 S.F.
DISTURBED AREA = 0.498 ACRES
= 21,692 S.F.

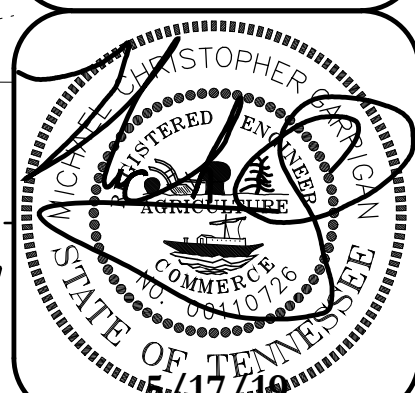
Planning Commission SP# 2013SP-030-005
Council Bill # BL2016-289
SWGR# T2016059288
Codes# T2016

Initial Erosion Control Plan

Drawing Date:
April 2019

Revisions:
SW Comments: 11/7/16
PC Comments: 1/20/17
SW Comments: 1/20/17
PC Comments: 12/19/17
Amended SP: 4/28/2019

Preliminary Specific Plan
Porter Road, Phase 2
Planning Commission SP# 2013SP-030-005
Council Bill # BL2016-289
Nashville, Davidson County, Tennessee
Map 72-15, Parcels 237 & 356



PERMITS:

SWGR# T2016059288

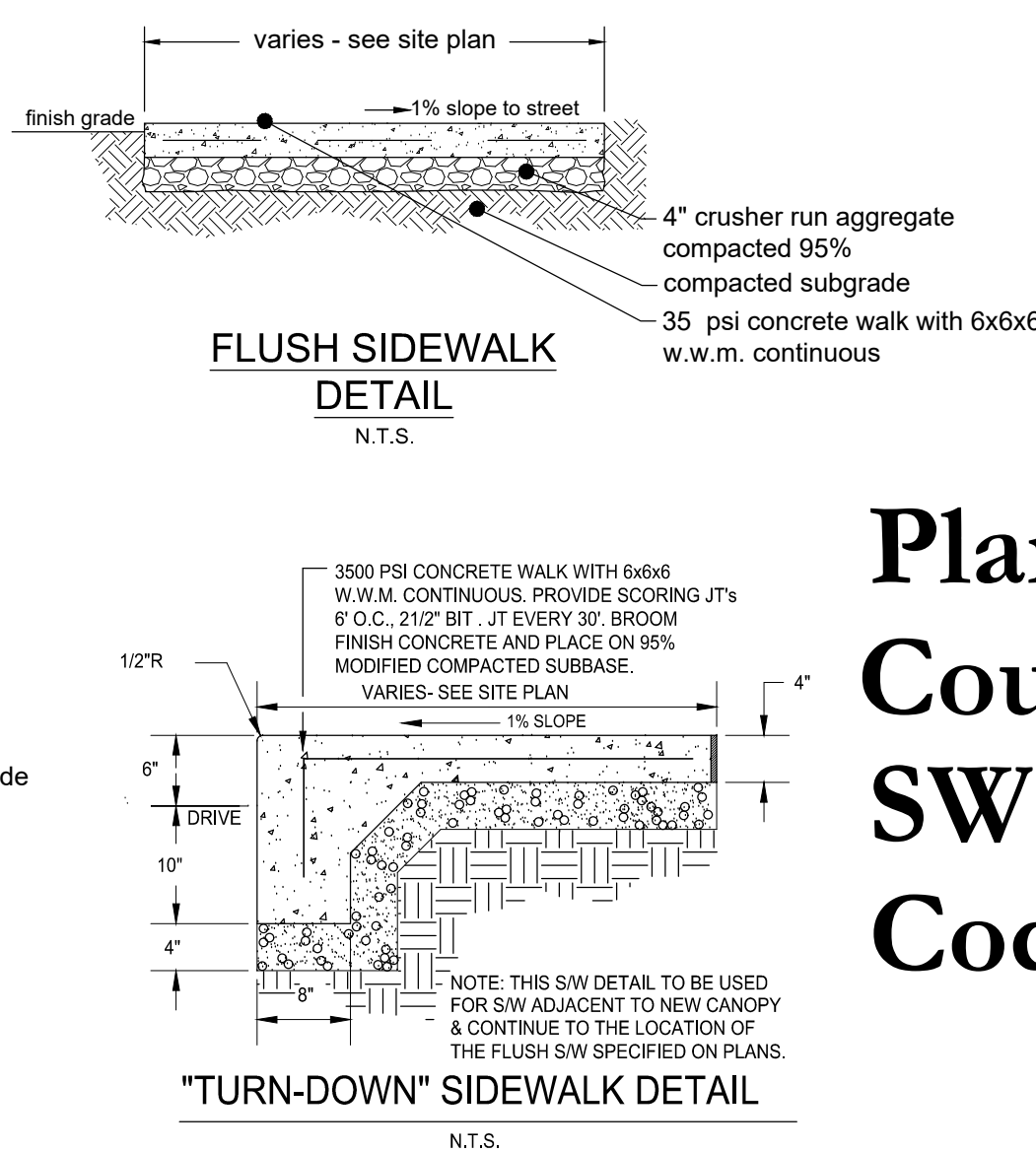
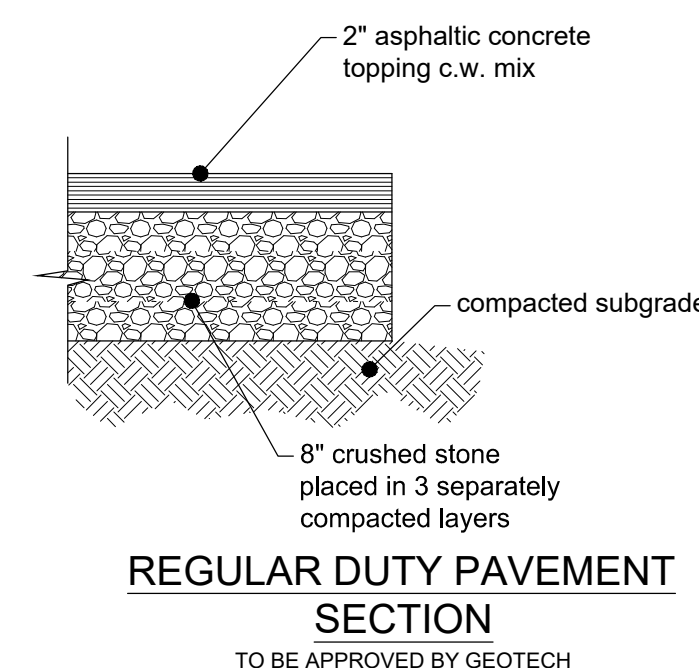
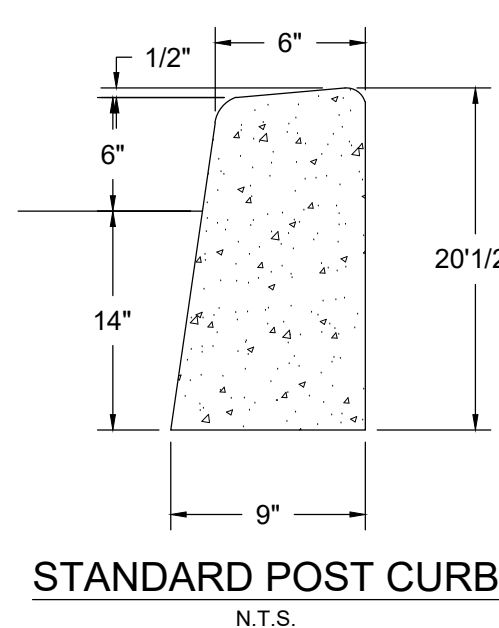
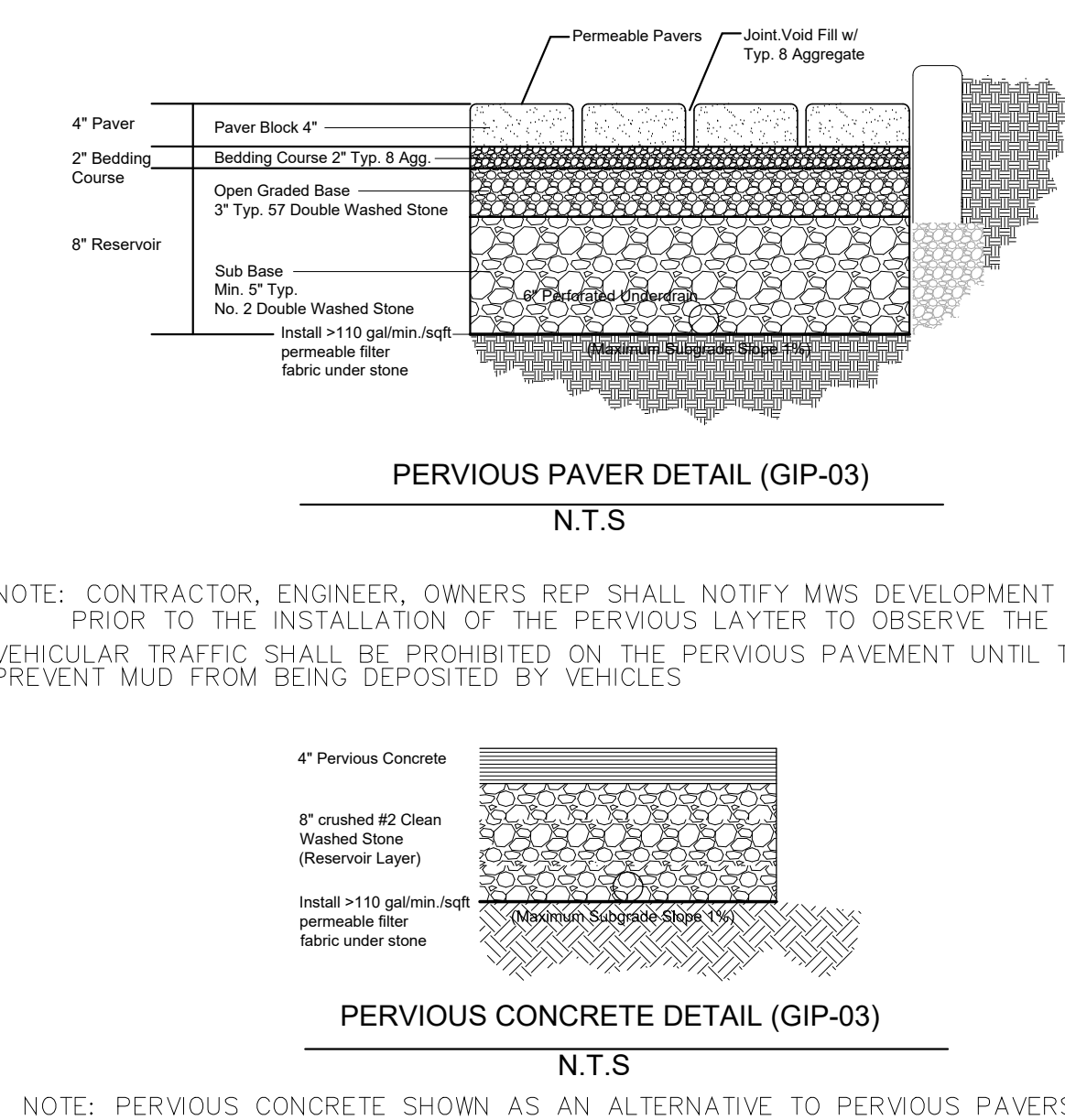
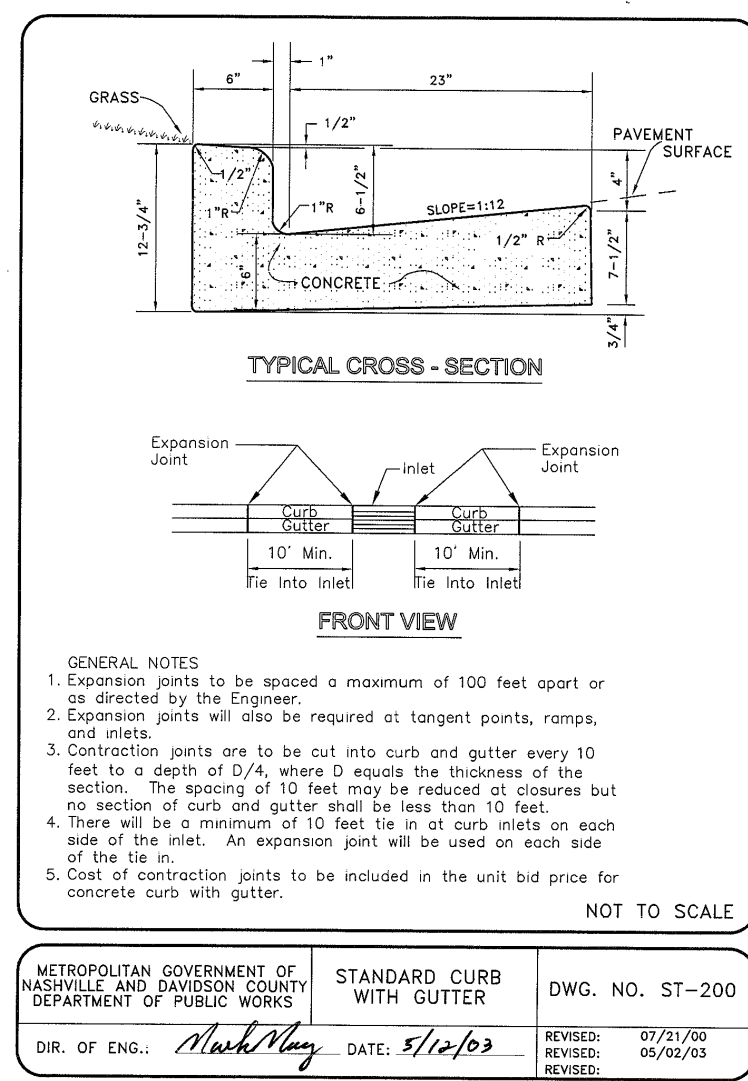
Codes# T2016



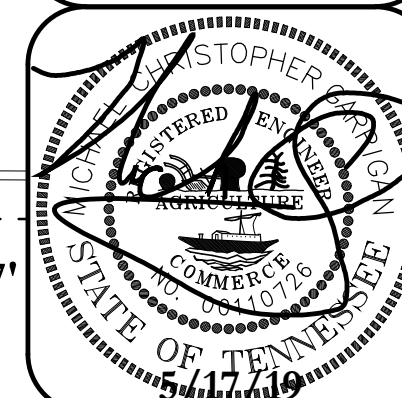
Dale & Associates
Civil Engineering
Surveying
516 Hattie Place
Nashville, Tennessee 37204
(615) 297-5166

D&A Project #13041
Porter Road, Phase 2 SP

C2.0
Sheet 2 of 6



Preliminary Specific Plan
Porter Road, Phase 2
Planning Commission SP# 2013SP-030-005
Council Bill # BL2016-289
Nashville, Davidson County, Tennessee

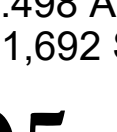


Planning Commission SP# 2013SP-030-005
Council Bill # BL2016-289
SWGR# T2016059288
Codes# T2016

Layout Plan

= 30,335.078 S.F.
 = 0.498 ACRES
 = 21,692 S.F.

005



Dale & Associates
 Consulting Civil Engineering
 Land Planning & Zoning
 Surveying

510 Heather Place
 Nashville, Tennessee
 (615) 297-5100

D&A Project #
 Porter Road, PH

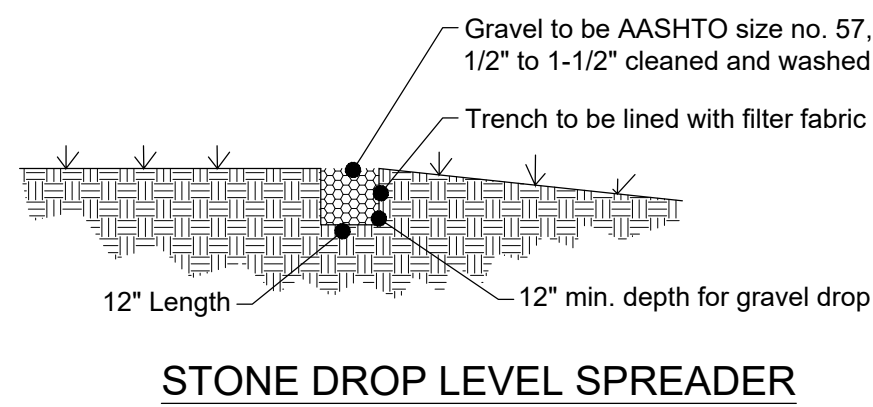
C3.

Sheet 3 of 3

D&A Project #13041
Porter Road, Phase 2 SF

C3.0

Sheet 3 of 6



	BIORETENTION 1	BIORETENTION 2
	Tv Vol Req. - 138 cf Tv Vol. Pro - 698 cf	Tv Vol Req. - 698 cf Tv Vol. Pro - 1,320 cf
	Total Vol. - 779 sf SA Pro. - 357 sf	Total Vol. - 1,439 sf SA Pro. - 480 sf
	566.00	558.00
	565.25	557.25
	565.00	557.00
consist of: 10%-20% Silt + Clay with no more 0% Organic Matter per Section 3, Design Criteria		
1.5" Sand over	562.00	551.00
	561.75	550.75
#57 gravel	561.00	550.00
	560.00	549.00

- | | | BIORETENTION
"1" | BIORETENTION
"2" |
|---|---|---------------------|---------------------|
| <p>18" dia.
Top of risers
(install ADS grate)</p> <p>Invert of pond & Top of
filter bed system</p> <p>18" ADS riser pipe</p> <p>FRONT VIEW</p> <p>Varies</p> <p>Invt. of outlet pipe</p> | <p>Top of risers
(install ADS grate)</p> <p>Invert of pond & Top of
filter bed system</p> <p>18" ADS riser pipe</p> <p>SIDE VIEW</p> <p>Varies</p> <p>Solid cap to be fitted on the face of the
outlet riser with 6" underdrain</p> <p>6" Perforated plastic underdrain
(or french drain) @ 1.0% Slope.
Tie underdrain into riser system
with tee & cap.</p> | 565.75 | 557.75 |
| | | 565.25 | 557.25 |
| | | 561.00 | 550.00 |
- BIORETENTION CONTROL STRUCTURE**
N.T.S.

Drainage Structure Schedule				
Structure Label	Structure Type	T.C. Elev.	Invert In	Invert Out
EX	Ex. Junction Box	555.30	————	549.30
D1	Junction Box	559.00	554.50	554.50
D2	Junction Box	560.80	557.80	557.80
D3	Junction Box	565.30	560.25	560.25
D4	Outlet Structure	565.75	————	561.00
D5	Endwall	558.00	————	550.00
D6	Outlet Structure	557.75	————	550.00

* T.C. Elevations shown in table are measured from grade

Pipe Schedule						
Downstream Structure	Invert	Upstream Structure	Invert	Pipe Size	Length (ft)	Slope (%)
EX	549.30	D1	554.50	15" CMP	73	7.12%
D1	554.50	D2	557.80	15" CMP	21	15.71%
D2	557.80	D3	560.25	15" CMP	72	3.40%
D3	560.25	D4	561.00	15" CMP	15	5.00%
D5	550.00	D6	550.00	15" CMP	1	0.00%

* Denotes storm culverts designed as CMP. RCP may be substituted.

PERVIOUS PAVER DETAIL (GIP-03)

4" Paver
 2" Bedding Course
 8" Reservoir
 Open Graded Base 3" Typ. 57 Double Washed Stone
 Sub Base 1/2" Typ. 2 Double Washed Stone
 Min. 10 gal/min/ft² permeable filter fabric under stone
 Permeable Pavers
 Joint Void Fill w/ Typ. 8 Aggregate
 (Maximum Subgrade Slope 1%)

PERVIOUS CONCRETE DETAIL (GIP-03)

4" Pervious Concrete
 8" crushed #2 Clean Washed Stone (Reservoir Layer)
 Install >110 gal/min/ft² permeable filter fabric under stone
 (Maximum Subgrade Slope 1%)

N.T.S.

NOTE: PERVIOUS CONCRETE SHOWN AS AN ALTERNATIVE TO PERVIOUS PAVERS

18' @ 10.0% Slope

1.6' STONE

18' @ 1.0% Slope

8" STONE

Average Stone Depth = 1'-2'

PERVIOUS PAVER SUBGRADE DETAIL (GIP-03)

N.T.S

- a. Soil Stabilization will be accomplished by the use of seeding in the appropriate areas, as specified. Temporary seeding will be required in those areas that consist of disturbed soils that have remained dormant for periods of more than 15 days.
- b. As a general rule, permanent seeding will be performed within 14 days after the final grade on an area has been established. If disturbed areas on-site are to remain dormant for periods greater than 15 days in duration, the contractor will apply permanent soil stabilization. An allowance in the time schedule will be made for snow cover during periods of construction downtime. Seeding will be performed by hydro-seeding, by hand, or by a mechanical broadcasting method.
- c. The areas to be seeded will be uniform and will conform to the finished grade and cross Section shown in the plans for this project or as otherwise designated. Owner's representative will perform minor shaping of uneven and rough areas outside the graded section as directed in order to provide for more effective erosion control and for ease of subsequent earth moving operations.
- d. The seed bed (including cut slopes) will be loosened to a minimum depth of 3 inches before agricultural lime, fertilizer or seed is applied. The areas to be seeded will be cleared of stones larger than 2.5 inches in dimension, roots, and other debris.

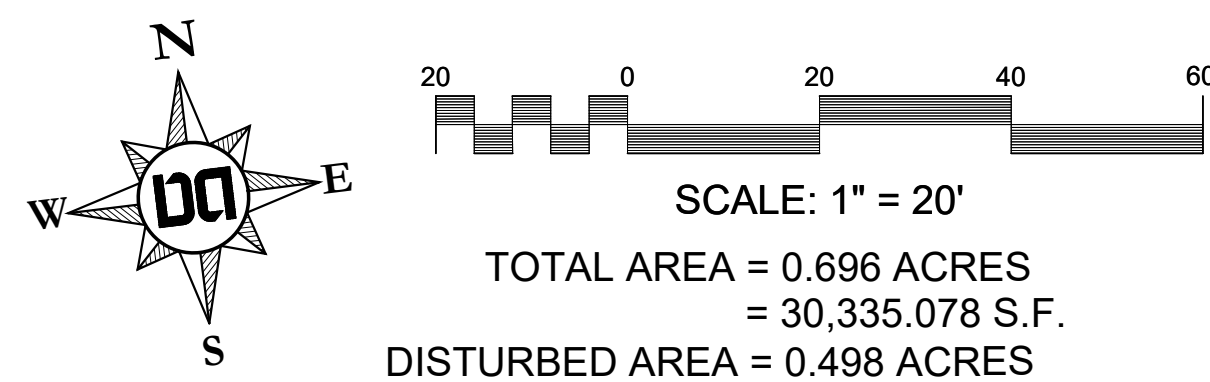
In accordance with the Metro Stormwater Manual, Volume 1, Section 3.9, as-built certifications, MWS stormwater division must approve the following as-builts prior to issuance of the use & occupancy permit:

- underground detention
- above ground detention
- water quality infrastructure
- public storm sewer infrastructure
- cut & fill in the floodplain
- sink hole alterations

The engineer shall contact stormwater development review staff for submittal requirements.

Planning Commission SP# 2013SP-030-005
Council Bill # BL2016-289
SWGR# T2016059288
Codes# T2016

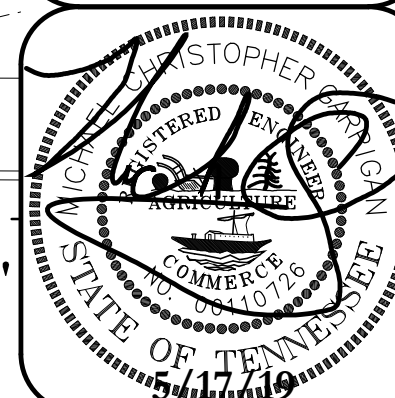
Grading and Drainage Plan



Drawing Date:
April 2019

Revisions:
SW Comments: 11/7/16
PC Comments: 1/20/17
SW Comments: 1/20/17
PC Comments: 12/19/17
Amended SP: 4/25/19

Preliminary Specific Plan
Porter Road, Phase 2
Planning Commission SP# 2013SP-030-005
Council Bill # BL2016-289
Nashville, Davidson County, Tennessee



PERMITS:

SWGR# T2016059288

Codes# T2016

Associates
516 Heather Place
Nashville, Tennessee
(615) 297-5166

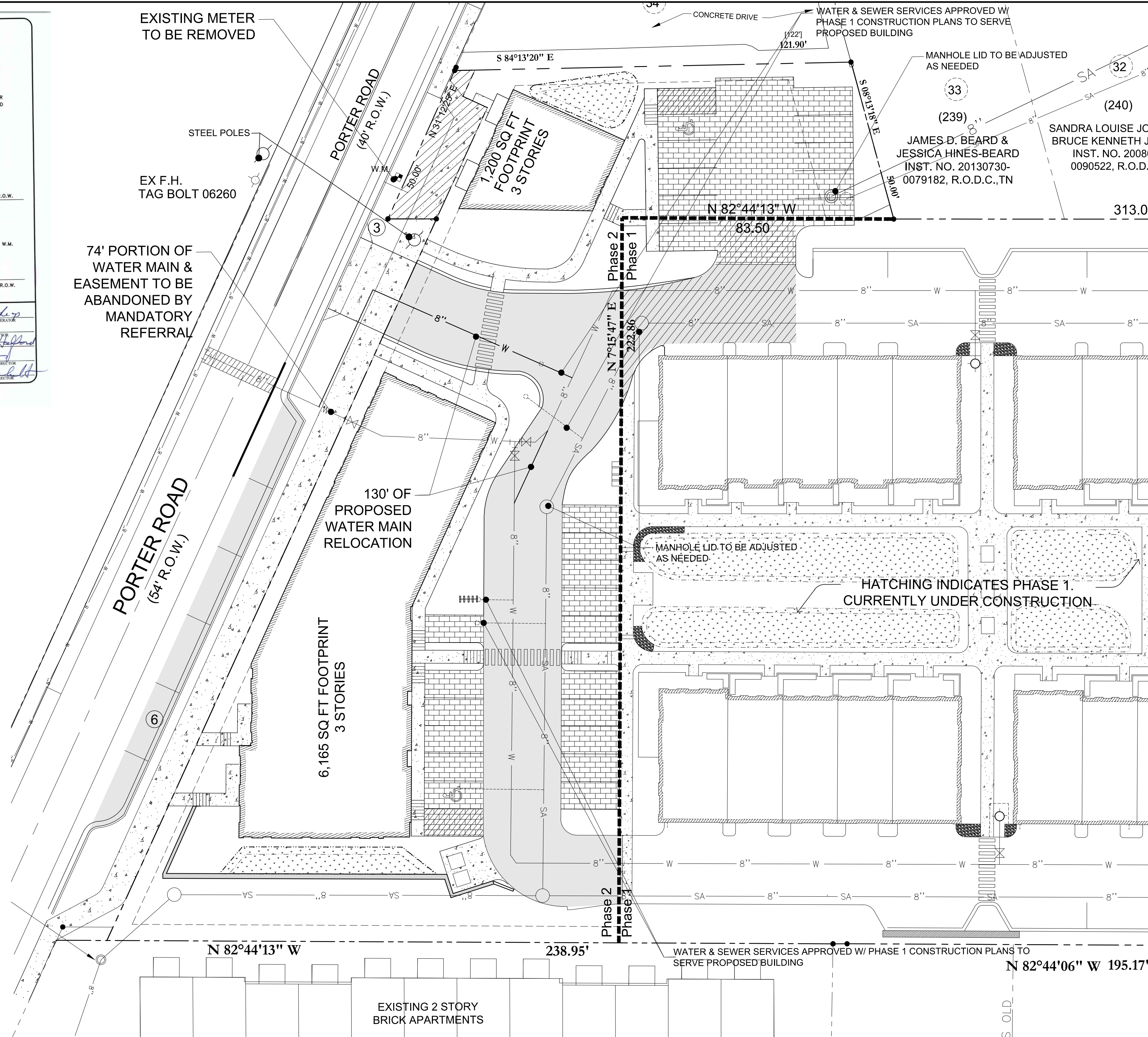
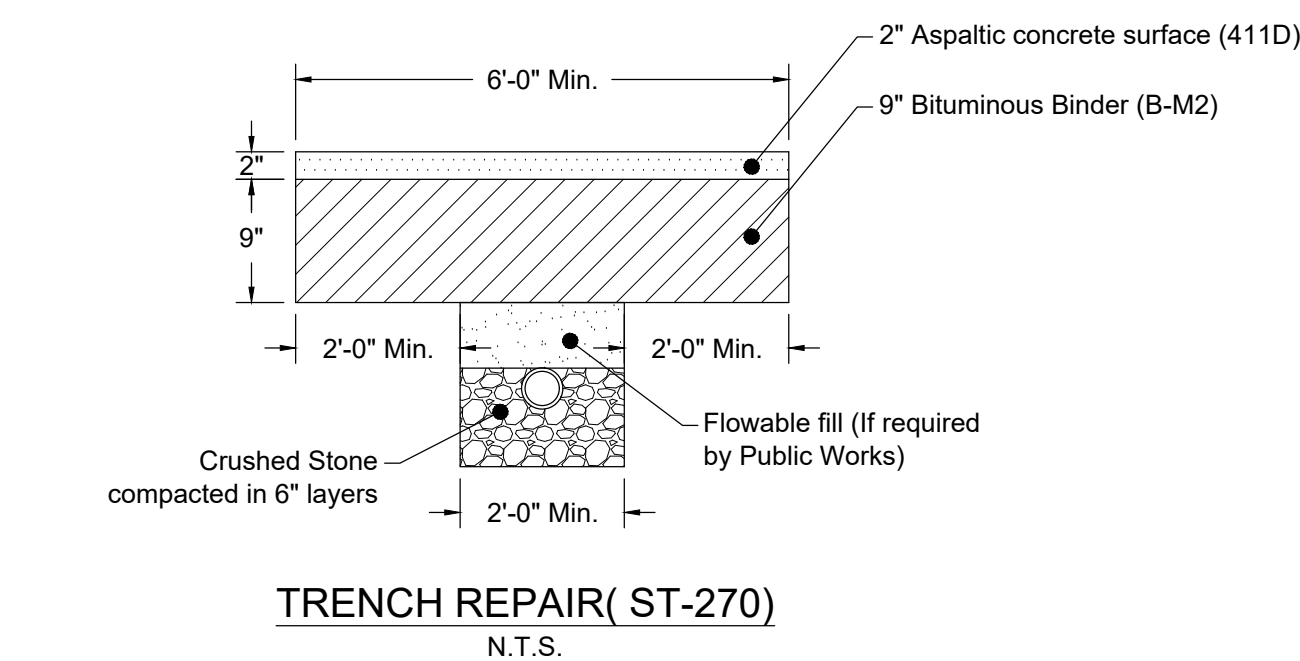
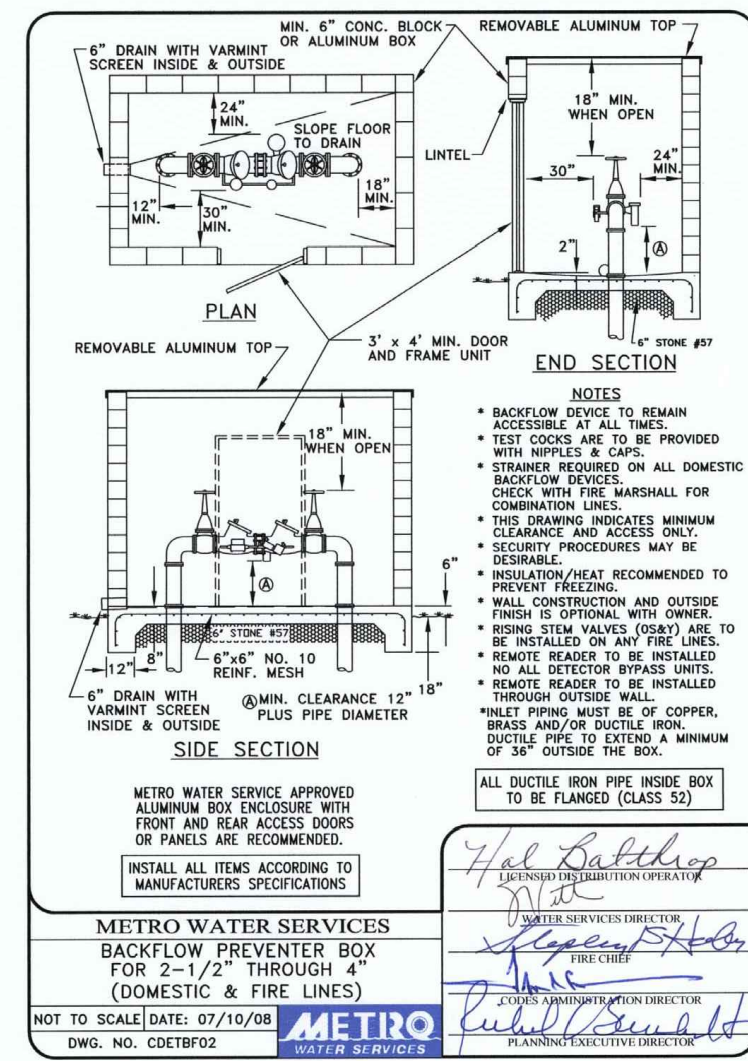
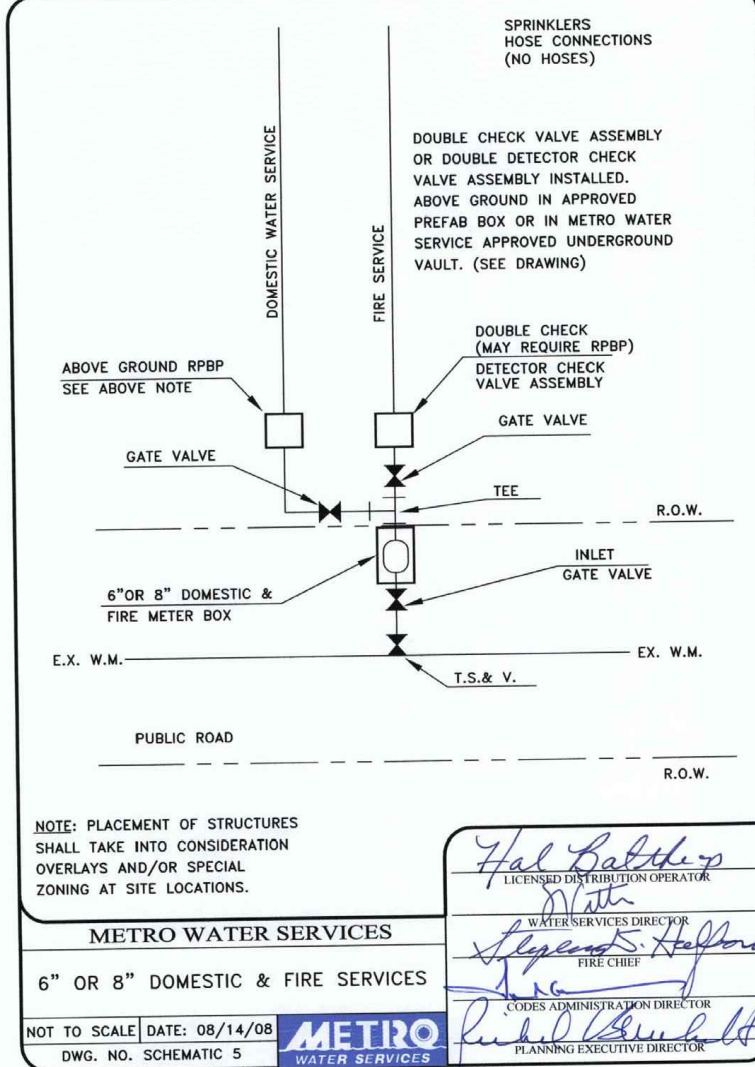
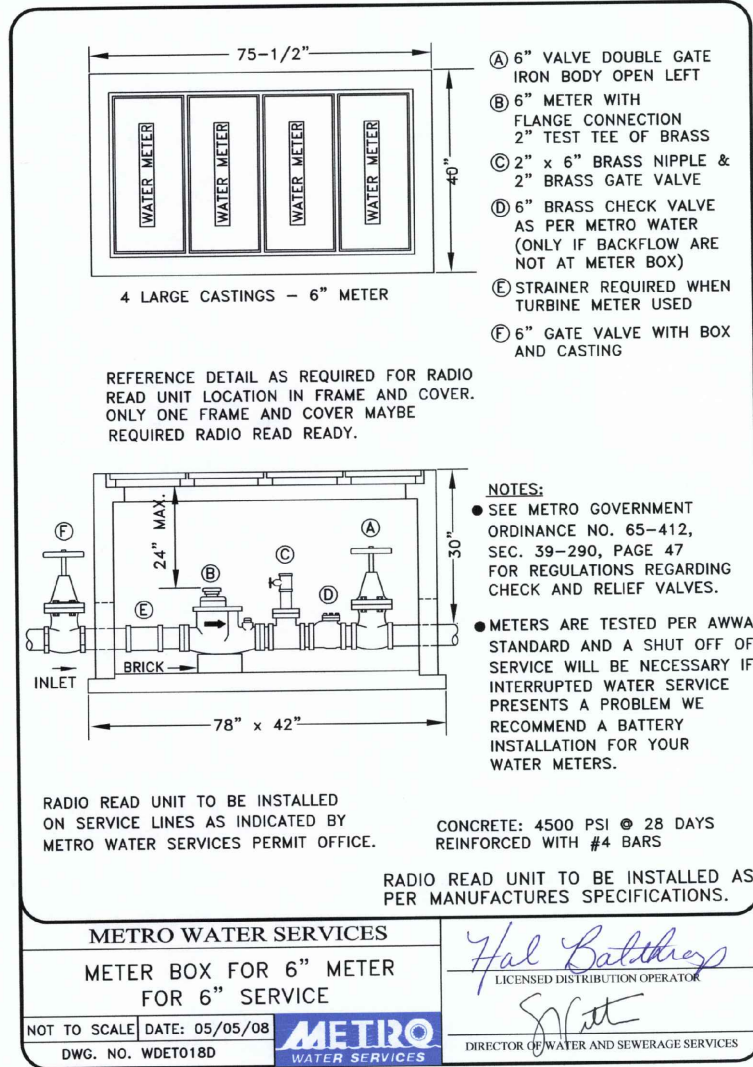
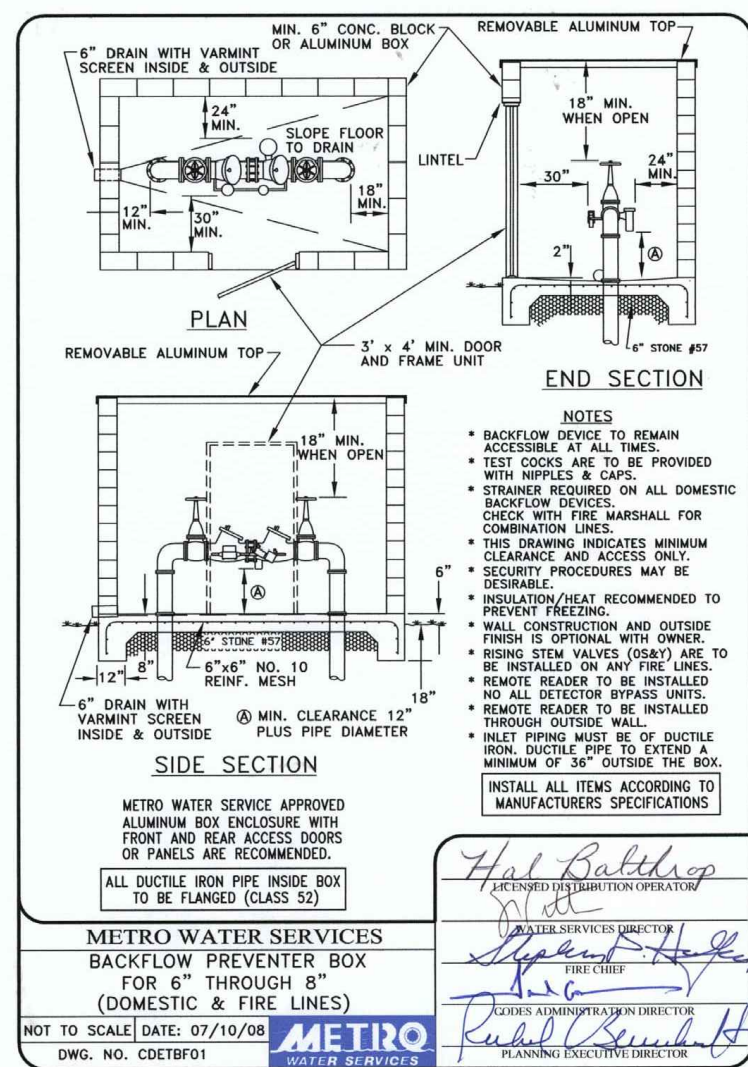
D&A Project #
Porter Road, PH

C4

D&A Project #13041
Porter Road, Phase 2 SP

C4.0

Sheet 4 of 6



Water and Sewer Service Notes

1. All water and/or sewer services, along with appurtenances, shall be installed in accordance with specifications and standard details of the Metro Water Services.
2. All connections to existing manholes shall be by coring and resilient connector method.
3. Vertical Double Check Valve Assemblies that are located in interior rooms can only be used for fire services.
4. All water meters shall be a minimum of 24" not to exceed a maximum of 28" below finished grade.
5. Irrigation line shall be copper from the meter to the backflow preventer.
6. The minimum fees outlined in the capacity letter must be paid before commercial construction plans can be reviewed.
7. All sewer services shall be 6 inches in diameter from connection at the main until the first cleanout assembly.
8. Backflow device to remain accessible at all times.
9. Plan size shall be 24"x36" and shall show contours around the meter boxes.

Adjacent Fire Hydrant Flow Test Results
Existing Fire Hydrants Tag Bolt Numbers 06259 (Porter Road and Cahal) & 06260 were Flow Tested by Metro Water Services on May 9, 2013.
Below is a Summary of the Flow Results:

Static Pressure: 114 psi
Residual Pressure: 105 psi
Flow: 1,653 gpm
Calculated Flow at 20 psi: 5,868 gpm

Per NFPA, 3,230 GPM @ 20 PSI Must be Provided by Adjacent Hydrant to satisfy the fire flow requirements for each building in Phase 2 (14,000 sq ft). Based on the Above Results, the Units shown here in are NOT Required for the residential dwellings, but is for the Mixed Use Building or Southern Building.

Planning Commission SP# 2013SP-030-005
Council Bill # BL2016-289
SWGR# T2016059288
Codes# T2016

Utility Plan

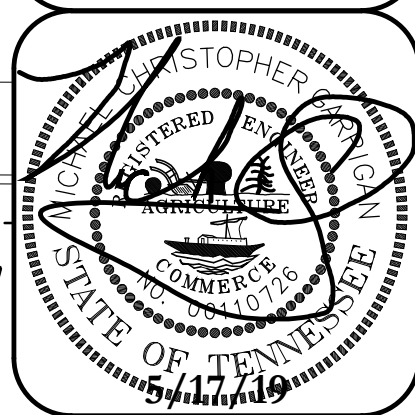
Dale & Associates
Consulting Civil Engineering
Land Planning & Surveying
510 Hedden Place
Nashville, Tennessee 37204
(615) 297-5166

C5.0
Sheet 5 of 6

Drawing Date:
April 2019

Revisions:
SW Comments: 11/7/16
PC Comments: 1/20/17
SW Comments: 1/20/17
PC Comments: 12/19/17
Amended SP: 4/25/19

Preliminary Specific Plan
Porter Road, Phase 2
Planning Commission SP# 2013SP-030-005
Council Bill # BL2016-289
Nashville, Davidson County, Tennessee
Map 72-15, Parcels 237 & 356



PERMITS:
SWGR# T2016059288
Codes# T2016

Do not heavily prune the tree at planting, prune only crossover limbs, co-dominate leaders, and broken or dead branches. Some interior twigs and lateral branches may be pruned; however, do not remove the terminal buds of branches that extend to the edge of the crown.

Stake trees & wrap tree trunks only upon approval of the landscape architect

Root flare should be visible at time of planting, do not plant too deep

Strong central leader, symmetrical branching form with no broken limbs

Mark the north side of the tree in the nursery, and rotate tree to face north at the site whenever possible

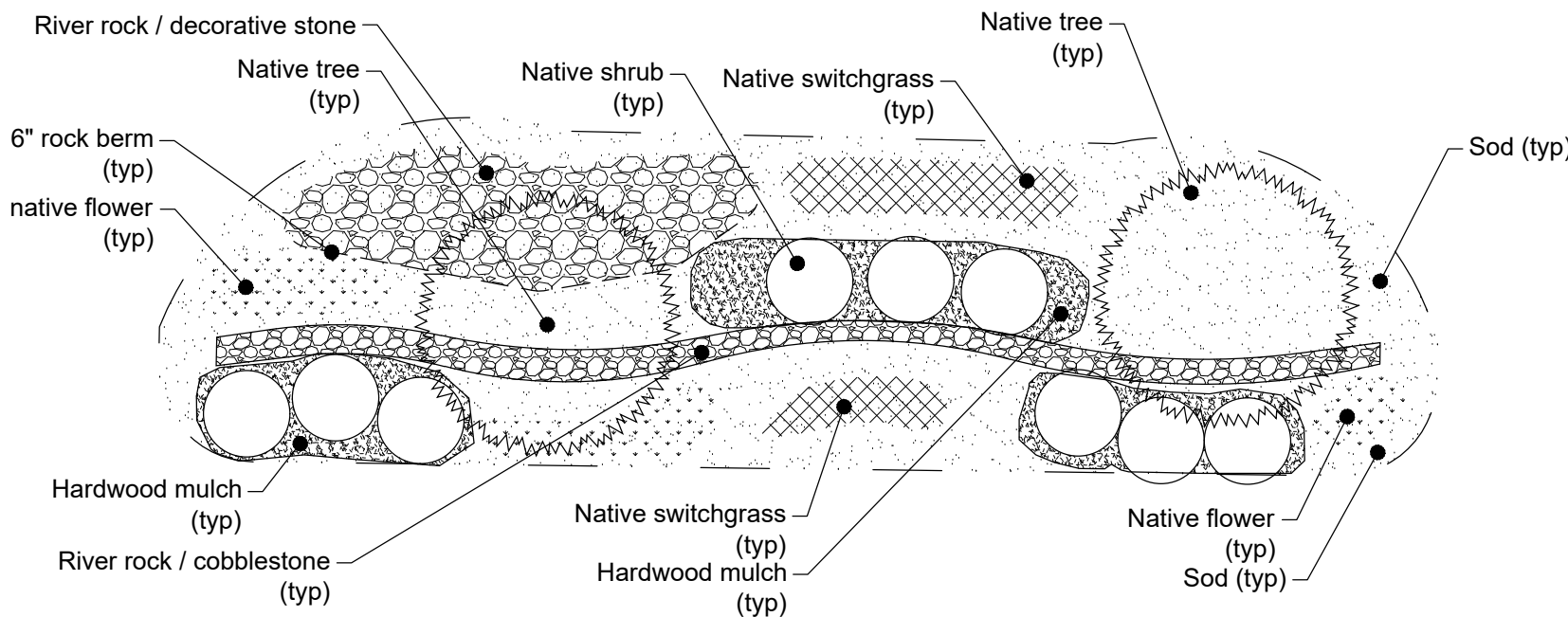
Each tree must be planted such that the trunk flare is visible at the top of the root ball. Trees where the trunk flare is not visible shall be rejected. Do not cover the top of the root ball with soil.

Vertical trunk free of damage or scars
Metal tree stake brand selection by contractor, 2 min. with 3 on sloping ground
6" dia saucer ring
Backfill mix, free of trash and stone
Remove all wire baskets & twine, cut burlap in 7 places or remove

All plant material to meet American standards for nursery stock and ansi a300 standards

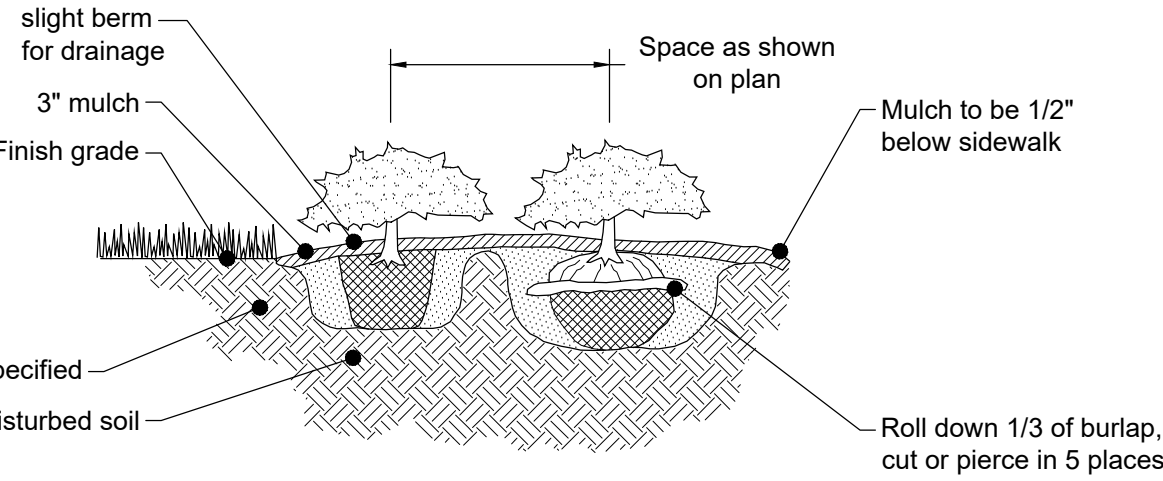
DECIDUOUS TREE PLANTING DETAIL

N.T.S.



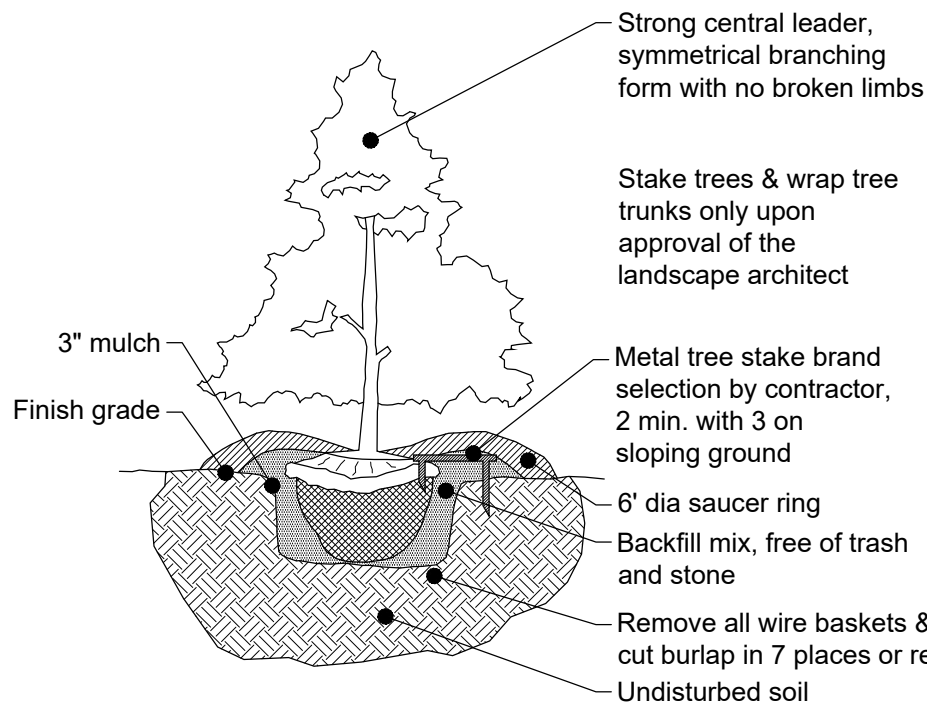
TYPICAL BIORETENTION PLANTING

N.T.S.



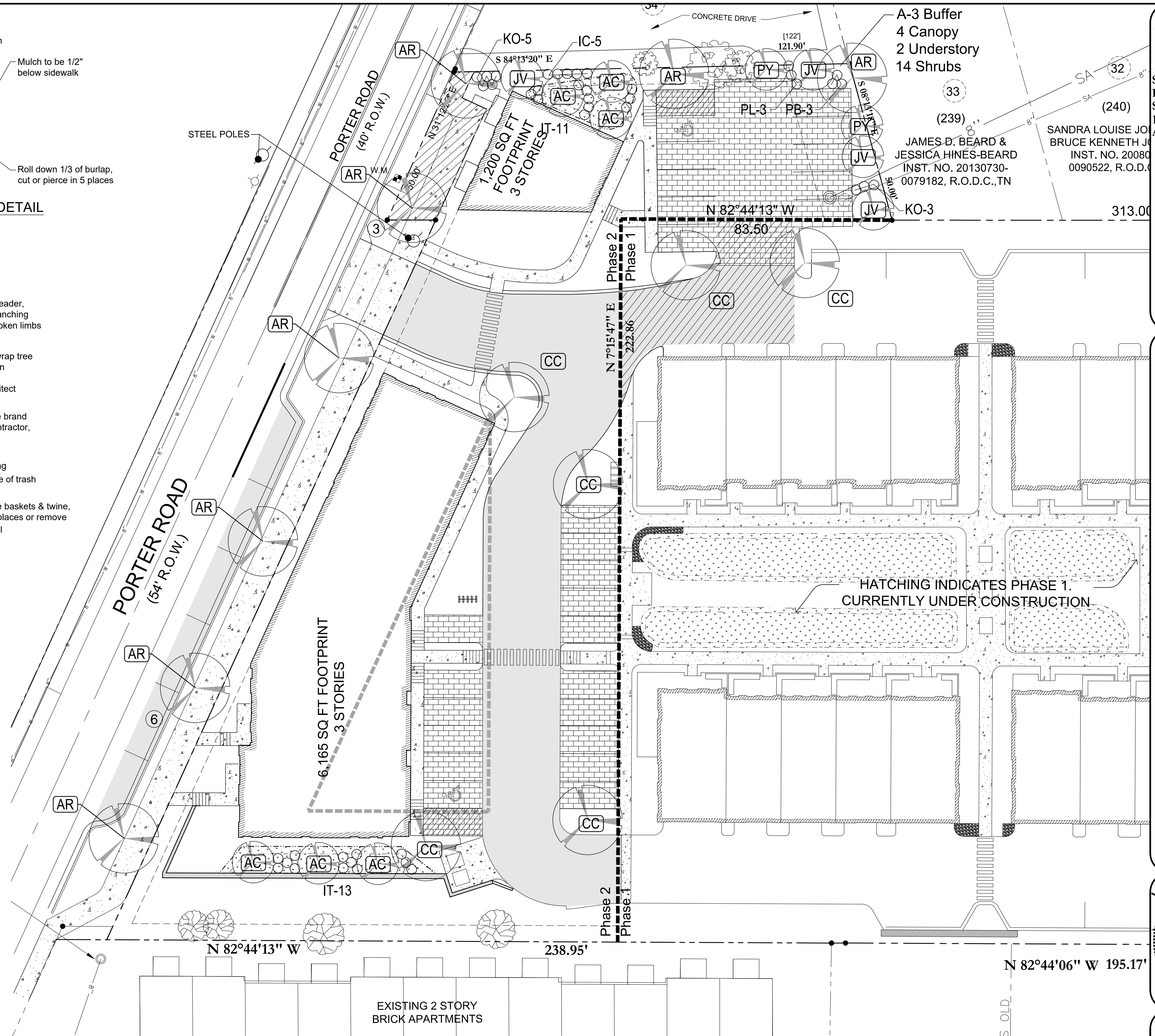
SHRUB / GROUNDCOVER PLANTING DETAIL

N.T.S.



EVERGREEN TREE PLANTING DETAIL

N.T.S.



Landscape Requirements

Parcels 237 & 356 on Tax Map 72-15
Property Zone: SP

INTERIOR GREEN SPACE
Area in 40' offset planting area 3,406 sq ft
Building area in 40' offset 1,071 sq ft
8% of remaining area 2,335 sq ft (187 sq ft)

Interior Planting area provided: 192 sq ft

BUFFER YARDS

A-3 To North and East

TREE DENSITY UNITS

Site Area 0.69 (total site)

Building coverage: 0.19 ac

Area of required compliance: 0.50 ac
x 14
7.0 TDU

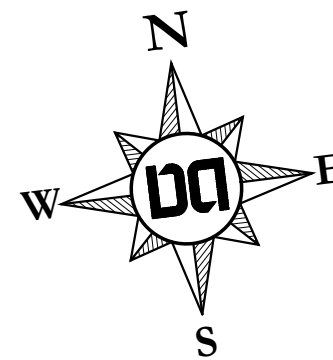
Required tree density units:
Proposed new trees 20 x 0.5 = 10.0
2" Cal @ 0.5
Total tree density units provided: 10.0

Onsite irrigation shall be provided by irrigation to be design build by landscape contractor. Existing Irrigation to be utilized for Phase 2

This Property is not a Planned Unit Development

NOTES:
IF REQUIRED, GENERAL CONTRACTOR MUST OBTAIN TREE REMOVAL PERMIT PRIOR TO THE ISSUANCE OF THE GRADING PERMIT

ADDITIONALLY, CONTRACTOR MUST INSTALL TREE PROTECTION FENCING & REQUEST THE INSPECTION OF THE URBAN FORESTER PRIOR TO THE ISSUANCE OF THE GRADING PERMIT



SCALE: 1" = 20'
TOTAL AREA = 2.04 ACRES
= 88,881.678 S.F.
PHASE 2 AREA = 0.696 ACRES
= 30,335.078 S.F.

Planning Commission SP# 2013SP-030-005 Council Bill # BL2016-289 SWGR# T2016059288 Codes# T2016

Landscape Plan

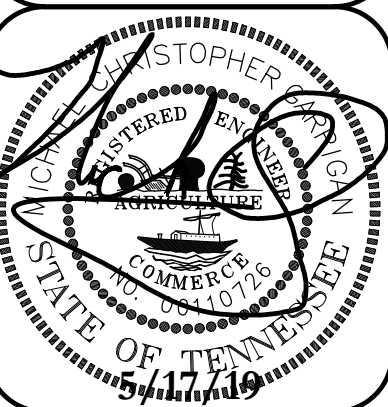


Dale & Associates
Civil Engineering
and Planning & Surveying
516 Hedden Place
Nashville, Tennessee 37204
(615) 297-5166

Drawing Date:
April 2019

Revisions:
SW Comments: 11/7/16
PC Comments: 1/20/17
SW Comments: 1/20/17
PC Comments: 12/19/17
Amended SP: 4/25/19

Preliminary Specific Plan
Porter Road, Phase 2
Planning Commission SP# 2013SP-030-005
Council Bill # BL2016-289
Nashville, Davidson County, Tennessee
Map 72-15, Parcels 237 & 356



PERMITS:
SWGR# T2016059288
Codes# T2016

D&A Project #13041
Porter Road, Phase 2 SP

L1.0
Sheet 6 of 6

Landscape Notes

- The landscape contractor shall coordinate all construction with the appropriate utility company and shall be responsible for and damage to utilities. The landscape contractor shall verify the exact location of all utilities and take precautions to prevent damage to the utilities.
- All planting and mulch beds shall be sprayed with round-up (contractor's option) prior to the installation of mulch.
- Plant materials and stumps indicated for removal shall be removed and disposed off-site by the contractor. Backfill holes with topsoil free of roots and rocks.
- The landscape contractor shall be responsible for the fine grading of all planting areas.
- All planting areas shall be fertilized with 12#/1000 s.f. of 10-10-10 fertilizer.
- All planting beds shall have a minimum of 3" depth of shredded hardwood bark mulch.
- The landscape contractor shall verify all material quantities. In the event of a discrepancy, the quantities shown on the plan will take precedence.
- The landscape contractor shall provide the owner with written instructions on the proper care of all specified plant materials prior to final payment.
- Existing trees to remain shall be protected from construction damage. Selectively prune dead wood.
- All disturbed areas shall be planted with turf as indicated on the materials schedule.
- All deciduous trees, existing and proposed shall be pruned to provide 4' minimum clear trunk unless otherwise noted.
- The landscape contractor shall provide a one year warranty on all plant materials and replace any dead or dying material within that time period.
- No plant materials should be substituted without authorization by Dale & Associates. Plant sizes shown are minimums required by the local municipality and materials shown have been selected specifically for this project.
- All wire baskets shall be completely removed and disposed of, burlap should be removed or punctured in at least 5 places. Remove all twine from burlapped materials.
- Guying is not allowed unless required by municipality or site conditions. The landscape contractor shall remove wires after a one year period.
- No canopy tree shall be located within 15' of an overhead utility. No tree shall be located within a public utility easement. Locating plant materials within a drainage easement is acceptable, but only if installed as not to disturb existing drainage flow. In such instances, the materials shall be located no closer than 5' from the centerline of drainage.
- Lighting plan to be coordinated with proposed planting plan. No light poles to be located in tree islands. See lighting plan for proposed light locations.

Materials Schedule

KEY QUANTITY SCIENTIFIC NAME/
COMMON NAME

HEIGHT SPREAD TRUNK REMARKS

TREES

JV	4	Juniperus virginiana/ Red Cedar	6'-8'	3'-4'	2"	F.T.B.
AR	8	Acer rubrum 'October Glory'/ October Glory Maple	8'-10'	4'-5'	2"	4' Clear Trunk
CC	6	Cercis canadensis 'Forest Pansy'/ Forest Pansy Redbud	8'-10'	4'-5'	2"	4' Clear Trunk
PY	2	Prunus x yedoensis/ Yoshino Cherry	6'-8'	3'-4'	2"	F.T.B.

BIORETENTION TREES (NOT COUNTED TOWARDS TDUs)

AC	6	Ameleanchier canadensis/ Serviceberry	6'-8'	3'-4'	2"	F.T.B.
----	---	--	-------	-------	----	--------

SHRUBS

KO	8	rad tko / Knock Out Rose	24"-30"	18"-24"	F.T.B.
PB	3	berberis/ Crimson pygmy Barberry	24"-30"	18"-24"	F.T.B.
PL	3	Prunus laurocerasus/ Common Cherrylaural	24"-30"	18"-24"	F.T.B.
IT	24	Itea virginica/ Virginia Sweetspire	18"-24"	12"-18"	F.T.B.
IC	5	Ilex cornuta 'Carissa'/ Carissa Holly	18"-24"	18"-24"	F.T.B.

TURF/NATIVE GRASSES

SEED	Turf Mixture	80% Rebel Supreme, 20% Merion Bluegrass. Seed all disturbed areas @ 5#/1,000 sf.
SOD	Fine Bladed Fescue Sod	Rebel II. Install where shown
PN	Little Blue Stern	1 Gallon Container, plant at 36" O.C.

MISCELLANEOUS

REMARKS

Shredded Hardwood Bark Mulch	Minimum 3" depth throughout. Min. 4" deep on slopes greater than 3:1.
Pine Straw	Minimum 3" depth throughout. Min. 4" deep on slopes greater than 3:1.

NOTE: F.T.B. = Full To Bottom